

NEIGHBOURHOOD 3
Proposed Site Layout Plan

- Site Boundary outlined in Red
- Applicants Landholding outlined in Blue
- Rights of way hatched in Yellow
- ESB "wayleave" constraint corridor, 50.0m in width and hatched in yellow.
- ITM Centre Point Co-ordinate: X,Y: 569085,575174
- Refer ITM Reference mark on Site Location Maps
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- All dimensions are in millimetres
- All levels (in metres) are related to Mean Head Datum

HOUSING MIX & TYPOLOGIES:

HOUSING MIX:

- Detached: 8 Units
- Semi-Detached: 50 Units
- Terrace: 5 Units
- Duplex:
- Ground floor Apt:
- First Floor Duplex:
- 1 Bedroom Apartment:
- 2 Bedroom Apartment:
- Total Residential Units: 63 Units**

HOUSING TYPOLOGIES:

- Total 4 Bed: 14 Units (22.0%)
- Total 3 Bed: 47 Units (75.0%)
- Total 2 Bed: 2 Units (3.0%)
- Total 1 Bed:
- Total Residential Units: 63 Units**

DENSITY:

- Site Area: 29,361.07 Sq.m.
- Discounable Area: 6,569.63 Sq.m.
- Developable Area: 22,791.44 Sq.m.
- Number of Units: 63
- Density: 27.6 units/hectare**

OPEN SPACE PROVISION:

- Public Usable Open Space Provided: 3,250 Sq.m.
- Percentage of Usable Open Space: 14.27 %**
- *Refer to key plan for Neighbourhood area re: spatial calculations.
- ** Usable open space excludes greenway, wayleave recreation areas, embankments etc.
- ***Refer to Design Statement: Public Open Space

Car Parking Provision:

- 133 spaces on-curtilage & road side.
- *Refer to Housing & Apartment Quality Audit

Bicycle Parking Provision:

- Total Residents spaces: 0
- Total Visitor spaces: 0
- Total Bicycle spaces: 0**
- *Housing & Apartment Quality Audit

The existing stone ditch / hedgerow is to be maintained and removed where required. Include providing a new impermeable boundary screen to the development side of the existing stone ditch/hedgerow. Screen to consist of a 2.4m high post-and-rail fence set back from the existing stone ditch / hedgerow. Include for buffer planting to the development side of same. Refer to Architects boundary details and Landscape Architects drawings and specification

Low level rail to separate front garden space from public realm.

Planted embankment. Refer to CSR landscaping details.

Distributor roadway

Streetside Parallel Parking

Revered to separate front garden space from public realm

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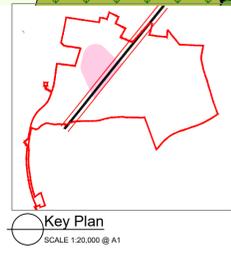
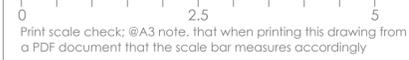
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Distributor roadway

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Boundary Treatment Legend

- Conc. post & Timber Panel fence (See Detail B-8)
- Timber rail 450mm high (See Detail B-8)
- 600mm Hedgerow (See Detail B-8)
- 800mm Hedgerow
- 1.8m high brick wall
- Plastered and capped wall 1.8m high
- 1.0 - 1.5m high retaining wall
- 2.0m high retaining wall & fence on top 1.2m high
- 1.8m high natural stone wall
- 600mm stone wall
- 600mm rail on planting
- Plastered and capped wall 2m high
- 2m high-weld mesh fence (See Detail A-A)
- 2.4m high-weld mesh fence (See Detail A-A)

Revision	Description	Date

Status: PLANNING

Project: MULTI UNIT RESIDENTIAL DEVELOPMENT
 Client: LONGVIEW ESTATES LTD.
 Address: LAHARDANE, BALLYVOLANE, CO. CORK.
 Date: 22/11/2019 Scale: 1:500 @ A1
 Drawn By: JF Checked By: MC Approved By: PH

Drawing Number: **17-002-P-300**

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Neighbourhood 3 - General Arrangement Plan