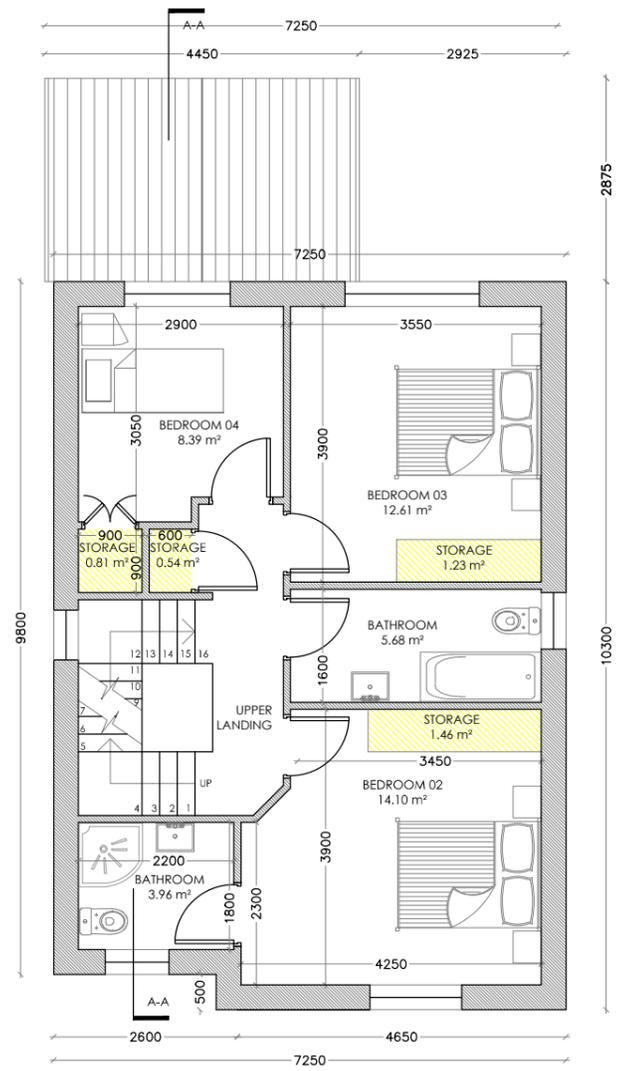
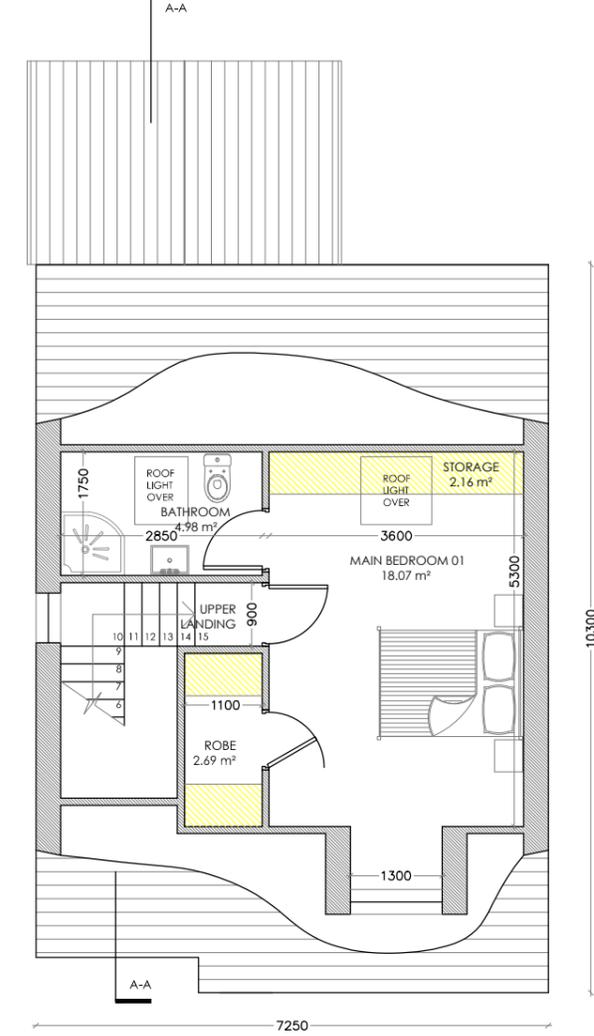


GROUND FLOOR PLAN 71.79 m<sup>2</sup> / 772.74 ft<sup>2</sup>  
 FIRST FLOOR PLAN 61.73 m<sup>2</sup> / 664.45 ft<sup>2</sup>  
 SECOND FLOOR PLAN 35.17 m<sup>2</sup> / 378.56 ft<sup>2</sup>  
**TOTAL 168.69 m<sup>2</sup> / 1815.76 ft<sup>2</sup>**

Proposed Ground Floor Plan  
 SCALE 1:100 @ A3



Proposed First Floor Plan  
 SCALE 1:100 @ A3



Proposed Second Floor Plan  
 SCALE 1:100 @ A3

9645  
 Roof Ridge Level

SPACE PROVISION: DOEHLG Guidelines compliance					
HOUSE TYPE 05A & 05B DWELLING TYPE: 4 BED / 7 PERSON 3 STOREY					
GUIDELINE	TARGET GROSS FLOOR AREA (m <sup>2</sup> )	MINIMUM MAIN LIVING ROOM (m <sup>2</sup> )	AGGREGATE LIVING AREA (m <sup>2</sup> )	AGGREGATE BEDROOM AREA (m <sup>2</sup> )	STORAGE (m <sup>2</sup> )
ACHIEVED	168.69	18.84	50.21	53.18	12.35

ROOM STANDARDS: DOEHLG Guidelines compliance					
BEDROOM TYPE	DOEHLG GUIDELINE (m <sup>2</sup> )	MAIN BEDROOM 01	BEDROOM 02	BEDROOM 03	BEDROOM 04
SINGLE BEDROOM	7.1	-	-	-	8.39
DOUBLE BEDROOM	11.4	-	14.10	12.61	-
MAIN BEDROOM	13	18.07	-	-	-

LIVING ROOM WIDTHS : DOEHLG Guidelines compliance		
HOUSE TYPE	DOEHLG GUIDELINE (m)	STANDARD ACHIEVED
1 BED APT/HOUSE	3.3	-
2 BEDROOM HOUSE	3.6	-
3 BEDROOM HOUSE OR MORE	3.8	4.2

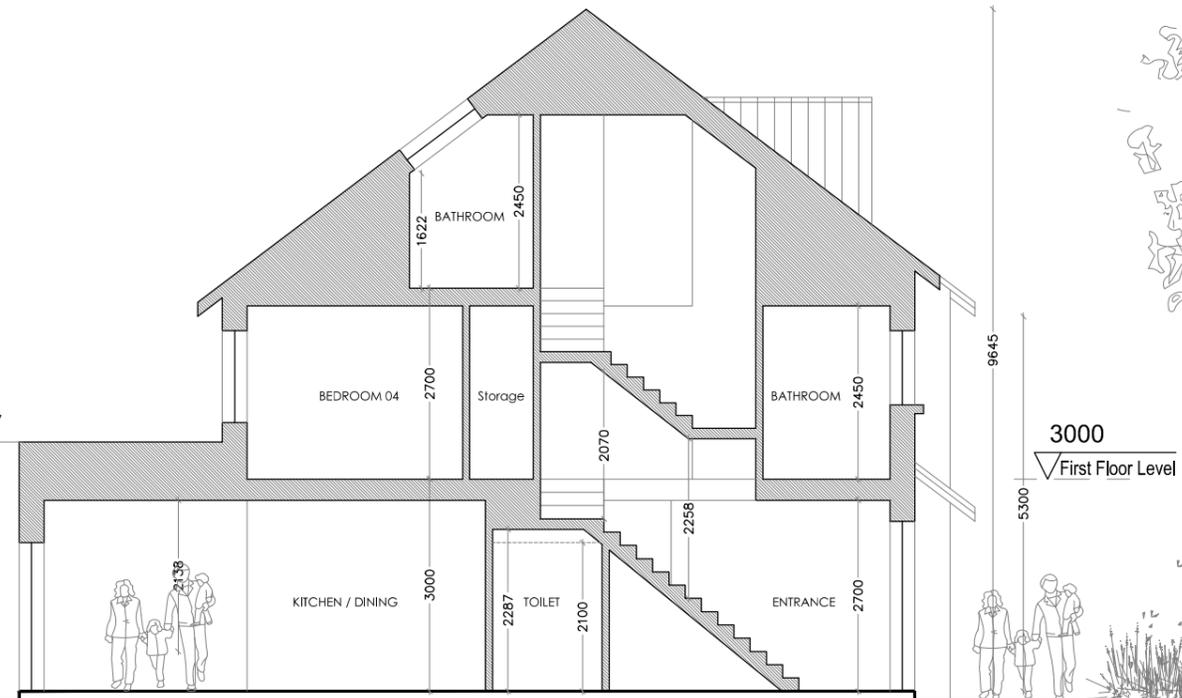
BEDROOM WIDTHS: DOEHLG Guidelines compliance					
BEDROOM TYPE	DOEHLG GUIDELINE (m)	MAIN BEDROOM 01	BEDROOM 02	BEDROOM 03	BEDROOM 04
SINGLE BEDROOM	2.1	-	-	-	2.9
DOUBLE BEDROOM	2.8	3.6	4.2	3.5	-



5677  
 Eaves Level

3525  
 Roof ridge Level

Ground Floor Level



\* FINISHED FLOOR LEVELS - REFER TO SITE LAYOUT PLAN

Revision	Description	Date

**Status: PLANNING DRAWINGS**

Project: MULTI UNIT RESIDENTIAL DEVELOPMENT.  
 Client: LONGVIEW ESTATES LTD.  
 Address: LAHARDANE, BALLYVOLANE, CO. CORK.  
 Date: 12/09/2019 Scale: AS SHOWN  
 Drawn By: PC Checked By: MC Approved By: PH

Drawing Number: **17-002-P-710A**

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 3 Water's Edge, Riverside way, Midleton, Co. Cork, P25 A033

Drawing Title: **HOUSE TYPE 05A - HANDED- 4 BED PLANS/ SECTION - NO CHIMNEY**