

An  
Bord  
Pleanála

## Strategic Housing Development

### Application Form

#### Before you fill out this form

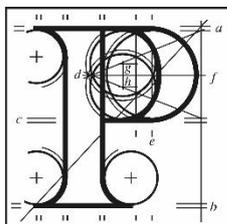
Please note that failure to complete this form or attach the necessary documentation, or the submission of incorrect information or omission of required information, will lead to An Bord Pleanála refusing to deal with your application. Therefore, ensure that each section of this request form is fully completed and signed, entering n/a (not applicable) where appropriate, and that all necessary documentation is attached to the application form. You are advised to refer to the “General Guidance Note” provided on pages 27 to 29 prior to completing this form.

#### Other Statutory Codes

An applicant will not be entitled solely by reason of a planning permission to carry out the development. The applicant may need other statutory consents, depending on the type of development. For example, all new buildings, extensions and alterations to, and certain changes of use of existing buildings must comply with building regulations, which set out basic design and construction requirements

## **Data Protection**

It is the responsibility of persons or entities wishing to use any personal data on a planning application form for direct marketing purposes to be satisfied that they may do so legitimately under the requirements of the Data Protection Acts 1988 and 2003. The Office of the Data Protection Commissioner state that the sending of marketing material to individuals without consent may result in action by the Data Protection Commissioner against the sender, including prosecution.



An  
Bord  
Pleanála

## Application Form in respect of a Strategic Housing Development

Contact details for sections 1 to 4 to be supplied in Section 26 of this form.

### 1. Applicant:

Name of Applicant:	Longview Estates Ltd
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### 2. Where the Applicant is a Company (Registered under the Companies Acts):

Registered Address of Company:	Unit 74, Penrose Wharf, Penrose Quay, Cork, T23 HF51
Company Registration No:	604969

### 3. Name of Person/Agent (if any) Acting on Behalf of the Applicant:

Name:	Orla O'Callaghan (Cunnane Stratton Reynolds)
Is An Bord Pleanála to send all correspondence to the above person/agent acting on behalf of the applicant? (Please tick appropriate box)	Yes: [ X ] No: [ ]  (Please note that if the answer is "No", all correspondence will be sent to the applicant's address)

### 4. Person Responsible for Preparation of Drawings and Plans:

Name:	Paul Horgan
Firm/Company:	Horgan Carroll Architects

## 5. Planning Authority

Name of the Planning Authority(s) in whose functional area the site is situated:	Cork City Council
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## 6. Site of Proposed Strategic Housing Development:

Postal Address /Townland/ Location of the Proposed Development (sufficient to identify the site in question):	
Address Line 1:	Lahardane and Ballincolly (Townlands)
Address Line 2:	Ballyvolane
Address Line 3:	
Town/City:	Cork City
County:	Cork
Eircode:	
Ordnance Survey Map Ref. No. (and the Grid Reference where available)	6 inch CK063 CK074 ITM Centre Pt Coords: 569231, 575386
Where available, please provide the application site boundary, as shown in the submitted plans / drawings, as an ESRI shapefile in the Irish Transverse Mercator (ITM IRENET95) co-ordinate reference system. Alternatively, a CAD file in .dwg format, with all geometry referenced to ITM, may be provided.	
Area of site to which the application relates in hectares:	46.9Ha
Site zoning in current Development Plan or Local Area Plan for the area:	Lands are zoned as NE-R-08 and NE-R-09 for Medium B residential development; NE-C-01 for proposed primary and secondary school campus with playing pitches; NE-O-04 for open space for public recreation as an urban park. The amenity parkland should provide passive amenity for residents of the North Eastern suburbs and the site. It should also contain the necessary walkways and cycle-

	<p>ways for accessibility between residential, business, retail and community uses and NE-U-03 for service road within the Ballyvolane Urban Expansion Area. The land on which the Ballyhooly Road (R614) improvements (proposed as part of this application) and the IW Pumping Station, are located is zoned NE-R-16 for medium density residential</p>
<p>Existing use(s) of the site and proposed use(s) of the site:</p>	<p>The lands at Lahardane, the subject of this application, are greenfield and have over the past number of years been farmed. The site is bounded to the north by a local roadway and to the west by the Ballyhooly Road. Presently agricultural land abounds the site to the south and east. These lands (to the south and east) are also zoned as part of the urban expansion area. The western part of the site closer to the Ballyhooly Road is steeply sloping and the site becomes more level as it rises towards the east. Two overhead power lines traverse the site, namely a 110kv line which spans from northwest to south east and a 38kv overhead power line running east to west on the southern portion of the site. The lands are subject to a number of constraints which are detailed in the LAP including topography and the existing powerlines which traverse the site.</p> <p>Longview Estates Ltd, intend to apply to An Bord Pleanála for a ten year planning permission for a Strategic Housing Development at Lahardane and Ballincolly (Townlands), Ballyvolane, Cork City.</p> <p>The proposed development will consist of a strategic housing development including 753 residential units to be constructed in a series of phases (six neighbourhoods in total), a local centre including retail (2 no. units), a crèche, doctors surgery and community use unit and all associated and ancillary infrastructure, services and site development works.</p> <p>The proposed 753 no. residential units are comprised of the following:</p> <ul style="list-style-type: none"> <li>• 67 no. detached houses including 31 no. 4 bedroom units and 36 no. 3 bedroom units</li> <li>• 278 no semi-detached houses including 41 no. 4 bedroom</li> </ul>

	<p>units and 237 no. 3 bedroom units</p> <ul style="list-style-type: none"> <li>• 186 no. terrace houses including 18 no. 4 bedroom units, 96 no. 3 bedroom units and 72 no. 2 bedroom units</li> <li>• 69 no. duplexes including 36 no. 3 bedroom units and 33 no. 2 bedroom units</li> <li>• 153 no. apartments including 6 no. studio apartments, 42 no. 1 bedroom apartments, 79 no. 2 bedroom apartments and 26 no. 3 bedroom apartments. Three apartment blocks will be provided (2 no. in Neighbourhood 6 and 1 no. in Neighbourhood 2)</li> </ul> <p>The proposed development includes a number of open spaces and play areas in addition to general landscaping, boundary treatments (including walls and landscaping to the houses to the north and lands to the east), and landscaped parkland / greenway. The proposal includes an internal distributor road providing access to neighbouring lands, associated internal roads, car parking, pedestrian and cycle paths (providing access to neighbouring lands), public lighting, internal bus stops and turning area, bin storage (in apartment locations) and cycle parking and all site services infrastructure. The associated site and infrastructural works include water supply, foul and surface / storm water drainage infrastructure to local services and drains and 5 no. unit sub stations. The proposed development makes provision for two no. pumping stations (and connections to / from same), one in neighbourhood 5 and one adjacent to the Ballyhooly Road, with access, to serve this site and future lands as required by Irish Water.</p> <p>Two no. vehicular accesses are proposed from the Ballyhooly Road and one no. access to / from the local road to the north of the site (pedestrian access points will also be allowed to the local road to the north), all including local road widening within applicant lands, resurfacing and boundary works. Signalisation of the Lower Dublin Hill / Ballyhooly Road Junction is also proposed along with the provision of a new bus stop on the eastern side of the Ballyhooly Road close</p>
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	<p>to the junction of Lower Dublin Hill and the Ballyhooly Road. The application also provides for the reservation of lands to accommodate the widening of the Ballyhooly Road and the provision of new pedestrian and cyclist infrastructure along the eastern side of the Ballyhooly Road with crossing of same close to Mervue Lawn south of the proposed development.</p> <p>Groundworks, excavation and ground reprofiling are required and proposed to provide a Distributor Road through the site and all development areas internally within the site. The proposed development also provides for the line diversion and partial undergrounding of the Kilbarry-Flaxfort-Mayfield 38kv line that traverses the landholding east / west, the removal of existing pylons and the provision of two new pylons one in the Lahardane Townland and one in the Ballincolly Townland and landscaping works within the 110 kv power line wayleaves that also traverse the site.</p>
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**7. Applicant's Interest in the Site:**

Please tick appropriate box to show the applicant's legal interest in the land or structure:	Owner	Occupier	Other
	X		X
Where legal interest is "Other", please expand further on the applicant's interest in the land or structure:			
<p>The red line partially includes lands within Cork City Council ownership and within the ownership of Waterrock View Ltd, Crystal County SPV Ltd and Donkey Aters SPV Ltd. These are sister companies of the applicant.</p> <p>Letters of consent for the proposed development within these areas have been included with this planning application (appendix of cover letter to An Bord Pleanála).</p>			
State Name and Address of the Site Owner: <b>If the applicant is not the legal owner</b> , please note that you are required to supply a	The red line partially includes lands within Cork City Council ownerships and within the ownership of Waterrock View Ltd, Crystal County SPV Ltd and Donkey Aters SPV Ltd. Letters of consent for proposed development		

letter of consent, signed by the site owner.	within these areas have been included with this planning application. Please see attached to cover letter to An Bord Pleanála
Does the applicant own or control adjoining, abutting or adjacent lands?	Yes: [ X ] No: [ ]
<p>If the answer is “Yes” above, identify the lands and state the nature of the control involved:</p> <p>These lands have been identified in blue on the Site Location Map submitted and are in the ownership of special purpose vehicles (Limited Companies) related to the applicant company.</p>	

## 8. Site History:

Is the applicant aware of any valid planning applications or An Bord Pleanála decisions previously made in respect of this land / structure?	Yes: [ ] No: [ X ]	
<p><b>Note:</b> If an application for permission for strategic housing development or a planning application under section 34 of the Planning and Development Act 2000 has been made in respect of this site in the 6 months prior to the submission of this application, the site notice for the current application in respect of strategic housing development must be on a yellow background.</p>		
<p>If the answer is “Yes” above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):</p>		
Reg. Ref. No. / An Bord Pleanála Ref. No.	Nature of Proposed Development	Final Decision by Planning Authority / An Bord Pleanála
N/A	N/A	N/A
Is the site of the proposed development subject to a current appeal to An Bord Pleanála?	Yes: [ ] No: [ X ]	
<p>If the answer is “Yes” above, please specify the An Bord Pleanála reference no.: N/A</p>		

Is the applicant aware of any other relevant recent planning applications or decisions by An Bord Pleanála in relation to adjoining or adjacent sites?	Yes: [ <input type="checkbox"/> ] No: [X <input checked="" type="checkbox"/> ]
If the answer is “Yes” above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):	
N/A	
Is the applicant aware of the site ever having been flooded?	Yes: [ <input type="checkbox"/> ] No: [ X <input checked="" type="checkbox"/> ]
If the answer is “Yes” above, please give details e.g. year, extent:  N/A	
Is the applicant aware of previous uses of the site e.g. dumping or quarrying?	Yes: [ <input type="checkbox"/> ] No:[ X <input checked="" type="checkbox"/> ]
If the answer is “Yes” above, please give details:  N/A	

## 9. Description of the Proposed Strategic Housing Development:

<p>Please provide a brief description of the nature and extent of the proposed development, including-</p> <ul style="list-style-type: none"> <li>• the proposed types and numbers of houses, student accommodation or both,</li> <li>• in the case of student accommodation units, the combined number of bedspaces, and any other uses to which those units may be put,</li> <li>• proposed services ancillary to residential development,</li> <li>• other proposed uses in the development of the land, the zoning of which facilitates such use, and</li> <li>• where an Environmental Impact Assessment Report or Natura Impact Statement has been prepared in respect of the application, an indication of that fact.</li> </ul>
<p>Longview Estates Ltd, intend to apply to An Bord Pleanála for a ten year planning permission for a Strategic Housing Development at Lahardane and Ballincolly (Townlands), Ballyvolane, Cork City.</p>

The proposed development will consist of a strategic housing development including 753 residential units to be constructed in a series of phases (six neighbourhoods in total), a local centre including retail (2 no. units), a crèche, doctors surgery and community use unit and all associated and ancillary infrastructure, services and site development works.

The proposed 753 no. residential units are comprised of the following:

- 67 no. detached houses including 31 no. 4 bedroom units and 36 no. 3 bedroom units
- 278 no semi-detached houses including 41 no. 4 bedroom units and 237 no. 3 bedroom units
- 186 no. terrace houses including 18 no. 4 bedroom units, 96 no. 3 bedroom units and 72 no. 2 bedroom units
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- 153 no. apartments including 6 no. studio apartments, 42 no. 1 bedroom apartments, 79 no. 2 bedroom apartments and 26 no. 3 bedroom apartments. Three apartment blocks will be provided (2 no. in Neighbourhood 6 and 1 no. in Neighbourhood 2)

The proposed development includes a number of open spaces and play areas in addition to general landscaping, boundary treatments (including walls and landscaping to the houses to the north and lands to the east), and landscaped parkland / greenway. The proposal includes an internal distributor road providing access to neighbouring lands, associated internal roads, car parking, pedestrian and cycle paths (providing access to neighbouring lands), public lighting, internal bus stops and turning area, bin storage (in apartment locations) and cycle parking and all site services infrastructure. The associated site and infrastructural works include water supply, foul and surface / storm water drainage infrastructure to local services and drains and 5 no. unit sub stations. The proposed development makes provision for two no. pumping stations (and connections to / from same), one in neighbourhood 5 and one adjacent to the Ballyhooly Road, with access, to serve this site and future lands as required by Irish Water.

Two no. vehicular accesses are proposed from the Ballyhooly Road and one no. access to / from the local road to the north of the site (pedestrian access points will also be allowed to the local road to the north), all including local road widening within applicant lands, resurfacing and boundary works. Signalisation of the Lower Dublin Hill / Ballyhooly Road Junction is also proposed along with the provision of a new bus stop on the eastern side of the Ballyhooly Road close to the junction of Lower Dublin Hill and the Ballyhooly Road. The application also provides for the reservation of lands to accommodate the widening of the Ballyhooly Road and the provision of new pedestrian and cyclist infrastructure along the eastern side of the Ballyhooly Road with crossing of same close to Mervue Lawn south of the proposed development.

Groundworks, excavation and ground reprofiling are required and proposed to provide a Distributor Road through the site and all development areas internally within the site. The proposed development also provides for the line diversion and partial undergrounding of the Kilbarry-Flaxfort-Mayfield 38kv line that traverses the landholding east / west, the removal of existing pylons and the provision of two new pylons one in the Lahardane Townland and one in the Ballincolly Townland and landscaping works within the 110 kv power line wayleaves that also traverse the site.

The application contains a statement setting out how the proposal will be consistent with the objectives of the relevant Development Plan (Cork County Development Plan 2014) and Local Area Plan (Cobh Municipal District Local Area Plan 2017). An Environmental

<p>Impact Assessment Report and a Natura Impact Statement have been prepared in respect of the proposed development.</p> <p>The planning application together with the Environmental Impact Assessment Report and Natura Impact Statement may be inspected, or purchased at a fee not exceeding the reasonable cost of making a copy, during public opening hours at the offices of An Bord Pleanála and Cork City Council. The application may also be inspected online at the following website set up by the applicant: <a href="http://www.longviewshd.ie">www.longviewshd.ie</a></p>	
<p>Please submit a site location map sufficient to identify the land, at appropriate scale.</p>	<p><b>Enclosed:</b> Yes: [ X ] No: [ ]</p>
<p>Please submit a layout plan of the proposed development, at appropriate scale.</p>	<p><b>Enclosed:</b> Yes: [ X ] No: [ ]</p>

## 10. Pre-Application Consultations

<p><b>(A) Consultation with Planning Authority:</b></p> <p>State the date(s) and planning authority reference number(s) of the consultation meeting(s) held with the planning authority under section 247 of the Planning and Development Act 2000:</p>	
<p>Planning Authority reference number:</p>	<p>No planning authority reference numbers applicable</p>
<p>Meeting date(s):</p>	<p>Meetings with Cork County Council 1<sup>st</sup> September 2017, 14<sup>th</sup> December 2017 and 23<sup>rd</sup> August 2018</p> <p><u>Attendance at meeting 1<sup>st</sup> September 2017 – this pertained to the previous proposal to ABP - PL04 .300557 but informed the subsequent discussions and the layout being proposed</u></p> <p>Noel Sheridan, A / Senior Planner Cork CoCo          Andrew Hind, Senior Planner Housing Infrastructure Implementation Team (HIIT) Cork CoCo          Paul Killeen, Area Planner Cork CoCo          Seán O'Brien, Administrative Officer Planning Dept Cork CoCo          Peter O'Donoghue, Senior Engineer Traffic and Transportation Cork CoCo          Donald Cronin, Senior Executive Engineer (HIIT) Cork CoCo          Yvonne O'Brien, Senior Executive Engineer (Estates) Cork CoCo          Liam Singleton, Senior Engineer Environment Cork CoCo          Alan Costello, Executive Scientist Environment Cork CoCo          Mark Collins, A / Co Architect Cork CoCo</p>

Richard Keating, Senior Executive Officer Housing Dept  
Cork CoCo  
David Watson, Longview Estates Limited  
Derry Guy, Longview Estates Limited  
Barry Walsh, Longview Estates Limited  
Ken Manley, MHL Consulting Engineers  
Paul Horgan, Horgan Carroll Architects  
John Crean, Cunnane Stratton Reynolds  
Orla O'Callaghan, Cunnane Stratton Reynolds

Attendance at meeting 14<sup>th</sup> December 2017 this pertained to the previous proposal to ABP - PL04 .300557 but informed the subsequent discussions and the layout being proposed

Noel Sheridan, A / Senior Planner Cork CoCo  
Andrew Hind, Senior Planner Housing Infrastructure  
Implementation Team (HIIT) Cork CoCo  
Paul Killeen, Area Planner Cork CoCo  
Enda Quinn, Executive Planner Cork CoCo  
Ross Palmer, Senior Executive Planner Cork CoCo  
Seán O'Brien, Administrative Officer Planning Dept Cork  
CoCo  
Peter O'Donoghue, Senior Engineer Traffic and  
Transportation Cork CoCo  
James Hickey, Glanmire Area Engineer Cork CoCo  
Donald Cronin, Senior Executive Engineer (HIIT) Cork CoCo  
Yvonne O'Brien, Senior Executive Engineer (Estates) Cork  
CoCo  
Mark Collins, A / Co Architect Cork CoCo  
David Watson, Longview Estates Limited  
Derry Guy, Longview Estates Limited

Attendance at meeting 23<sup>rd</sup> August

John Crean, Cunnane Stratton Reynolds  
Ken Manley, MHL Consulting  
Paul Horgan, Horgan Carroll Architects  
Barry Walsh, Longview Estates  
David Watson, Longview Estates  
Derry Guy, Longview Estates  
Liam De Barra, Longview Estates  
Noel Sheridan, A/ Senior Planner Cork CoCo  
Sharon McDonnell, Executive Planner (HIIT) Cork CoCo  
Paul Killeen, Area Planner Cork CoCo Cork CoCo  
Robert O'Sullivan, Area Engineer Cork CoCo  
Ronan Crotty, Area Engineer Cork CoCo  
Pater O'Donoghue, Senior Engineer Cork CoCo  
Yvonne O'Brien , Executive Engineer Cork CoCo  
Sean O'Brien, Administrative Officer Cork CoCo  
Mark Collins, Architects Dept Cork CoCo

Pre-planning consultation occurred with Cork County Council initially as the lands were in the County Council administrative area. During 2018 and 2019, engagement started to occur

	<p>with Cork City Council also as the lands were in the 'transition area' which became part of the Cork City Council administrative area in May 2019. Since the extension, significant further engagement has occurred with Cork City Council. There have been various meetings, phone conversations and email exchanges with Officers from different departments of Cork City Council including Kevin O'Connor, Gwen Jordan and Melissa Walsh of the Planning Department, Cathy Beecher and Edith Roberts of the Roads Department, Simon Lyons of the Drainage Department, Liam Casey of the Parks Department and Brian Geaney of the Housing Department.</p> <p>Engagement has also occurred between the Applicant and Adrienne Rodgers (Director of Community, Culture and Placemaking) regarding the proposed Section 47 Agreement between Longview Estates Ltd and Cork City Council.</p> <p>Engagement has also occurred between the Applicant and Brian Geaney, regarding the proposed Part V proposal for submission by Longview Estates Ltd to ensure that it was to the satisfaction of Cork City Council.</p>
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**(B) Consultation with An Bord Pleanála:**

State the date(s) and An Bord Pleanála reference number(s) of the pre-application consultation meeting(s) with An Bord Pleanála:

An Bord Pleanála reference number:	PL04 .300557 PL04 .304350
Meeting date(s):	2 <sup>nd</sup> February 2018 11 <sup>th</sup> June 2019

**(C) Any Consultation with Prescribed Authorities or the Public:**

Provide details of any other consultations the applicant had with authorities prescribed under section 8(1)(b) and (c) of the Act of 2016 or with the public:

During the pre-application stage, the applicant engaged with a number of other parties including local residents.

The Applicant has had significant engagement with local stakeholders including residents of adjacent properties and living in the site area. A public information evening was held in October 2017. Representatives from the design team were in attendance to talk members of the public through the proposed plans and answer any questions.

The Applicant Longview Estates Ltd has had ongoing communication with residents in the area during the design development to advise them of development programme progress and take their comments and feedback on board. A number of design elements have been incorporated and amended in the scheme on the basis of discussions with

occupants of neighboring properties including the careful consideration of boundary treatment along the northern site boundary.

The following statutory agencies and stakeholders were consulted during the preparation of the planning application and EIAR:

- Irish Water
- The Minister for Arts, Heritage, Regional, Rural and Gaeltacht Affairs
- The Heritage Council
- An Táisce – The National Trust for Ireland
- Córas Iompair Éireann
- Transport Infrastructure Ireland
- National Transport Authority
- National Transport Authority
- Commission for Energy Regulation
- Irish Aviation Authority
- The Department of Education and Skills
- Local Childcare Committee – Cork County and Cork City Childcare Committee
- The Commission for Railway Regulation
- Department of Justice and Equality
- The Health Service Executive
- The Minister for Agriculture, Food and the Marine

Responses were received from Transport Infrastructure Ireland (TII), the Irish Aviation Authority (IAA), Department of Education and Skills, the Commission for Railway Regulation (CRR), the Department of Justice and Equality, the Health Service Executive (HSE), The Minister for Agriculture, Food and the Marine and the National Transport Authority (NTA). Please refer to Chapter 1 of the EIAR for further detail.

In accordance with section 8(1)(b) of the Act of 2016 and in accordance with the Board's Notice of Pre-Application Consultation Opinion, the prospective applicant has notified the following authorities of the making of the SHD application in accordance with section 8(1)(b) of the Planning and Development (Housing) and Residential Tenancies Act 2016

- Irish Water
- The Minister for Arts, Heritage, Regional, Rural and Gaeltacht Affairs
- The Heritage Council
- An Táisce – the National Trust for Ireland

- C oras Iompair  ireann
- Transport Infrastructure Ireland
- National Transport Authority
- Commission for Energy Regulation
- Irish Aviation Authority
- Local Childcare Committee.

## 11. Application Requirements

(a) Is a copy of the page from the newspaper containing the notice relating to the proposed strategic housing development enclosed with this application?	<b>Enclosed:</b> Yes: [ X ] No: [ ]
If the answer to above is "Yes", state name(s) of newspaper(s) and date(s) of publication:	The Echo  18 <sup>th</sup> December 2019
(b) Is a copy of the site notice relating to the proposed development enclosed with this application?	<b>Enclosed:</b> Yes: [ X ] No: [ ]
If the answer to above is "Yes", state date on which the site notice(s) was erected:	18 <sup>th</sup> December 2019
<p><b>Note:</b> The location of the site notice(s) should be shown on the site location map enclosed with this application.</p> <p>Yes, site notices have been identified on the site location map</p>	
(c) Is an Environmental Impact Assessment Report (EIAR) required for the proposed development?	Yes: [ X ] No: [ ]
If the answer to above is "Yes", is an EIAR enclosed with this application?	<b>Enclosed:</b> Yes: [ X ] No: [ ]
Please provide a copy of the <b>Confirmation Notice</b> obtained from the EIA Portal where an EIAR accompanies the application.	<b>Enclosed:</b> Yes: [ X ] No: [ ]  Please see attached to cover letter to An Bord Pleanala

<p>(d) Is the proposed development, in whole or in part, within or close to a European site or Natural Heritage Area?</p>	<p>Yes: [ <input type="checkbox"/> ] No: [ <input checked="" type="checkbox"/> ]</p>
<p>(e) Is a Natura Impact Statement (NIS) required for the proposed development?</p>	<p>Yes: [ <input checked="" type="checkbox"/> ] No: [ <input type="checkbox"/> ]</p>
<p>If the answer to above is “Yes”, is an NIS enclosed with this application?</p>	<p>Yes: [ <input checked="" type="checkbox"/> ] No: [ <input type="checkbox"/> ]</p>
<p>(f) Has a copy of this application, and any EIAR and/or NIS required, been sent to the relevant planning authority, in both printed and electronic form?</p>	<p>Yes: [ <input checked="" type="checkbox"/> ] No: [ <input type="checkbox"/> ]</p>
<p>(g) Has a copy of this application, and any EIAR and/or NIS required, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant prescribed authorities, in both printed and electronic format?</p>	<p>Yes: [ <input checked="" type="checkbox"/> ] No: [ <input type="checkbox"/> ] N/A: [ <input type="checkbox"/> ]</p>
<p>If the answer to the above is “Yes”, list the prescribed authorities concerned:</p>	<ul style="list-style-type: none"> <li>• Irish Water</li> <li>• The Minister for Arts, Heritage, Regional, Rural and Gaeltacht Affairs</li> <li>• The Heritage Council</li> <li>• An Taisce – the National Trust for Ireland</li> <li>• Córas Iompair Éireann</li> <li>• Transport Infrastructure Ireland</li> <li>• National Transport Authority</li> <li>• Commission for Energy Regulation</li> <li>• Irish Aviation Authority</li> <li>• Local Childcare Committee</li> </ul>
<p>If the answer to the above is “Yes”, state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:</p>	<p>18<sup>th</sup> December 2019</p>
<p>(h) Is the proposed development likely to have significant effects on the environment of a Member State of the European Union or a state that is a party to the Transboundary Convention?</p>	<p>Yes: [ <input type="checkbox"/> ] No: [ <input checked="" type="checkbox"/> ]</p>

<p>If the answer to the above is “Yes”, has a copy of this application, and the accompanying EIAR, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant authority in the state or states concerned, in both printed and electronic format?</p>	<p>Yes: [ ] No: [ ] N/A</p>
<p>If the answer to the above is “Yes”, list the state(s) and the prescribed authorities concerned:</p>	<p>N/A</p>
<p>If the answer to the above is “Yes”, state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:</p>	<p>N/A</p>

**12. Statements Enclosed with the Application Which:**

<p>(a) Set out how the proposed strategic housing development is consistent with the relevant objectives of the relevant development plan:</p>	<p><b>Enclosed:</b>                  Yes: [ X ] No: [ ]  <i>Please refer to CSR Statement of Consistency</i></p>
<p><b>Note:</b> The statement should be accompanied by a list of each relevant development plan objective considered by the prospective applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.</p>	
<p>(b) Set out, where applicable how the proposed strategic housing development will be consistent with the objectives of the relevant local area plan:</p>	<p><b>Enclosed:</b>                  Yes: [ X ] No: [ ]  <i>Please refer to CSR Statement of Consistency</i></p>
<p><b>Note:</b> The statement should be accompanied by a list of each relevant local area plan objective considered by the prospective applicant in making the statement and any proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.</p>	
<p>(c) Set out, where applicable that the proposed strategic housing development is, in the applicant's opinion, consistent with the planning scheme for a strategic development zone:</p>	<p><b>Enclosed:</b>                  Yes: [ ] No: [ ]                  N/A: [ X ]</p>
<p><b>Note:</b> The statement should be accompanied by a list of the principal provisions of the planning scheme considered by the prospective applicant in making the statement.</p>	
<p>(d) Set out how the proposed strategic housing development is, in the applicant's opinion, consistent with any relevant guidelines issued by the Minister under section 28 of the Act of 2000:</p>	<p><b>Enclosed:</b>                  Yes: [ X ] No: [ ]                  N/A: [ ]  <i>Please refer to CSR Statement of Consistency</i></p>
<p><b>Note:</b> The statement should be accompanied by a list of the guidelines considered by the applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with the guidelines.</p>	
<p>(e) Where An Bord Pleanála notified the applicant of its opinion that the documents enclosed with the request</p>	<p><b>Enclosed:</b>                  Yes: [ X ] No: [ ]</p>

<p>for pre-application consultations required further consideration and amendment in order to constitute a reasonable basis for an application for permission, a statement setting out any changes made to the proposals in consequence.</p>	<p>N/A: [ ]</p> <p><i>Please refer to Longview Estates Ltd Statement of Response to ABP Opinion for details.</i></p>
<p>(f) Where An Bord Pleanála notified the applicant that specified additional information should be submitted with any application for permission, a statement setting out that such information accompanies the application.</p>	<p><b>Enclosed:</b></p> <p>Yes: [ X ] No: [ ]</p> <p>N/A: [ ]</p> <p><i>Please refer to Longview Estates Ltd Statement of Response to ABP Opinion for details.</i></p>

**13. Material Contravention of Development Plan/Local Area Plan:**

<p>Where the proposed strategic housing development materially contravenes the relevant development plan or local area plan other than in relation to the zoning of land, is a statement included with the application indicating the plan objective concerned and why permission should, nonetheless, be granted, having regard to a consideration specified in section 37(2)(b) of the Act of 2000?</p>	<p><b>Enclosed:</b></p> <p>Yes: [ ] No: [X]</p> <p>The proposed SHD does not materially contravene the relevant Development Plan or Local Area Plan. Please refer to statement prepared by Cunnane Stratton Reynolds</p>
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**14. Proposed Residential Development:**

- (a) Provide a breakdown of the proposed residential content of the strategic housing development, as follows:

Houses		
Unit Type	No. of Units	Gross floor space in m <sup>2</sup>
1-bed	0	0
2-bed	72	6,311.5 sq.m
3-bed	369	41,117.8 sq.m

4-bed	90	13,630.1 sq.m
4+ bed	0	0
<b>Total</b>	531	61,059.4 sq.m

<b>Apartments</b>		
<b>Unit Type</b>	<b>No. of Units</b>	<b>Gross floor space in m<sup>2</sup></b>
Studio	6	253 sq.m
1-bed	42	2,302 sq.m
2-bed	112	6,410 sq.m 2 bed duplexes – 2,356.8 sq.m
3-bed	62	2,675 sq.m 3 bed duplexes – 4,112.1 sq.m
4-bed	0	0
4+ bed	0	0
<b>Total</b>	222 (including duplexes)	18,108.9 sq.m

<b>Student Accommodation</b> N/A			
<b>Unit Types</b>	<b>No. of Units</b>	<b>No. of Bedspaces</b>	<b>Gross floor space in m<sup>2</sup></b>
Studio	N/A	N/A	N/A
1-bed			
2-bed			
3-bed			
4-bed			
4+ bed			
<b>Total</b>			

(b) State total number of residential units in proposed development:	753
(c) State cumulative gross floor space of residential accommodation, in m <sup>2</sup> :	79,168.3 sq.m

**15. Proposed Ancillary and Other Uses in the Proposed Strategic Housing Development:**

(a) Please provide details of the different classes of development proposed as ancillary to residential development and other uses on the land, the zoning of which facilitates such uses, as follows:	
<b>Class of Development:</b>	<b>Gross Floor Space in m<sup>2</sup></b>
Creche	692.88 sq.m
Doctors Surgery	378.1 sq.m
Community Use	200.6 sq.m
2 Retail Units	Retail 1 – 178.8 sq.m Retail 2 – 124.4 sq.m
<p><b>Note:</b> Where it is not proposed to provide one childcare facility for each 75 houses in the proposed development, the application should be accompanied by a statement of the rationale for this.</p> <p><i>It is proposed to provide a crèche. A Childcare Assessment is enclosed with this planning application</i></p>	
(b) State cumulative gross floor space of non-residential development in m <sup>2</sup> :	1,574.78
(c) State cumulative gross floor space of residential accommodation and other uses in m <sup>2</sup> :	80,743.08 sq.m
(d) Express 15(b) as a percentage of 15(c):	1.95%

**16. Strategic Housing Development Details:**

**Note:** If the answer to any of the below statements is “Yes”, please submit a brief statement in support of your application.

<b>Please tick appropriate box:</b>	<b>Yes</b>	<b>No</b>
(a) Are details of housing density, plot ratio, site coverage, building heights, proposed layout and aspect enclosed with the application?	X	
(b) Are details of public and private open space provision, landscaping, play facilities, pedestrian permeability, vehicular access and parking provision, where relevant, enclosed with the application?  <i>Please refer to CSR landscape plan and report, Horgan Carroll drawings and design statement and MHL drawings enclosed with this application.</i>	X	
(c) Are details of any proposals to address or, where relevant, integrate the proposed development with surrounding land uses enclosed with the application?  <i>Please refer to planning application drawings</i>	X	
(d) Are details of any proposals to provide for services infrastructure other than water, such as cabling (including broadband provision) and any phasing proposals enclosed with the application?  <i>Please refer to Engineer Design Report and drawings by MHL for services and infrastructure details and the Material Assets Chapter of the EIAR. Details of phasing have been provided in documents including the Response to ABP Opinion Report and the EIAR. Please also refer to phasing drawing prepared by Horgan Carroll Architects</i>	X	
(e) Does the proposed development include an activity requiring an integrated pollution control licence or a waste licence?  If “Yes”, enclose a brief explanation with this application.		X
(f) Does the proposed development involve the demolition of any structure (including a habitable house), in whole or in part?		X

<p>If “Yes”, enclose a brief explanation with this application.</p>		
<p>(g) Does the proposed development involve the demolition of a Protected Structure(s), in whole or in part?</p> <p>If “Yes”, an explanation as to the need for the demolition of a Protected Structure(s) should be enclosed with this application.</p>		X
<p>(h) Does the proposed development consist of work to a Protected Structure and/or its curtilage or proposed Protected Structure and/or its curtilage?</p> <p>If “Yes”, provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		X
<p>(i) Does the proposed development consist of work to the exterior of a structure which is located within an architectural conservation area (ACA)?</p> <p>If “Yes”, provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		X
<p>(j) Does the proposed application development affect, or is close to, a national monument or place in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht or a local authority, or is it the subject of a preservation order or temporary preservation order under the National Monuments Acts 1930 to 2014?</p> <p>If “Yes”, enclose a brief explanation with this application.</p>		X
<p>(k) Is the proposed development in a Strategic Development Zone?</p> <p>If “Yes”, enclose a statement of how the proposed development is consistent with the planning scheme for the Zone.</p>		X
<p>(l) Do any statutory notices (e.g. Fire Safety, Enforcement, Dangerous Buildings, Derelict Sites,</p>		X

<p>Building Control, etc.) apply to the site and/or any building thereon?</p> <p>If "Yes", enclose details with this application.</p>		
<p>(m) Do the Major Accident Regulations apply to the proposed development?</p>		X
<p>(n) Is information specified by An Bord Pleanála as necessary for inclusion in any application for permission for the proposed development, so included?</p> <p>If "Yes", give details of the specified information accompanying this application.</p> <p><i>Please refer to Longview Estates Ltd Response to An Bord Pleanála Opinion</i></p>	X	

**17. Where the Proposed Development Relates to Existing Building(s) / Structure(s):**

State gross floor space of any existing building(s) / structure(s) in m <sup>2</sup> :	<b>N/A</b>
State gross floor space of any proposed demolition, in m <sup>2</sup> :	<b>N/A</b>
State gross floor space of any building(s) / structure(s) to be retained in m <sup>2</sup> :	<b>N/A</b>
State total gross floor space of proposed works in m <sup>2</sup> :	80,743.08 sq.m

**18. Where the Application relates to Material Change of Use of Land or Structure:**

(a) State existing use of land or structure:	Greenfield / Agricultural site
(b) Where the existing land or structure is not in use, state the most recent authorised use of the land or structure:	N/A site has been farmed for a number of years
(c) State proposed use(s):	Residential development with ancillary support services and uses including a local centre with a crèche, doctors surgery, 2 no. retail units and a community use unit
(d) State nature and extent of any such proposed use(s):	The development of a greenfield site for 753 residential units, 2 retail units, doctors surgery, creche and all associated site services and infrastructural works as described in the description of development

(e) Plans (including a site or layout plan and drawings of floor plans, elevations and sections that comply with the requirements of Article 297 and 298) and other particulars required describing the works proposed should be enclosed with this application:

**Enclosed:** Yes:  No:  N/A:

## 19. Social Housing (Part V)

Please tick appropriate box:	Yes	No
(a) Does Part V of the Planning and Development Act 2000 apply to the proposed development?	X	
(b) If the answer to Question 19(A) is “Yes”, are details enclosed as to how the applicant proposes to comply with section 96 of Part V of the Act including, for example—  (i) details of such part or parts of the land for the proposed development or is or are specified by the Part V agreement, or houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be transferred to the planning authority, or details of houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be leased to the planning authority, or details of any combination of the foregoing, and	X	
(ii) details of the calculations and methodology for calculating values of land, site costs, normal construction and development costs and profit on those costs and other related costs such as an appropriate share of any common development works as required to comply with the provisions in Part V of the Act, and	X	
(iii) a layout plan showing the location of proposed Part V units in the development?	X	
(c) If the answer to Question 19(A) is “No” by virtue of section 96(13) of the Planning and Development Act 2000, details must be enclosed with this application	N/A	

form indicating the basis on which section 96(13) is considered to apply to the development.		
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**20. Water Services:**

<p><b>(A) Proposed Source of Water Supply:</b></p> <p>Please indicate as appropriate:</p> <p>(a) Existing Connection: <input type="checkbox"/> New Connection: <input checked="" type="checkbox"/></p> <p>(b) Public Mains: <input checked="" type="checkbox"/></p> <p>Group Water Scheme: <input type="checkbox"/> Name of Scheme: _____</p> <p>Private Well: <input type="checkbox"/></p> <p>Other (please specify): _____</p> <p>Please refer to MHL Engineering Report for a detailed description on water supply.</p>
<p><b>(B) Proposed Wastewater Management / Treatment:</b></p> <p>Please indicate as appropriate:</p> <p>(a) Existing Connection: <input type="checkbox"/> New Connection: <input checked="" type="checkbox"/></p> <p>(b) Public Sewer: <input checked="" type="checkbox"/></p> <p>Conventional septic tank system: <input type="checkbox"/></p> <p>Other on-site treatment system (please specify):_Pumping stations required_____</p> <p>Where the disposal of wastewater for the proposed development is other than to a public sewer, provide information on the on-site treatment system proposed and evidence as to the suitability of the site for the system proposed:</p> <p>Please refer to MHL Engineering Report a detailed description on wastewater management/ treatment including on the pumping stations being proposed</p>
<p><b>(C) Proposed Surface Water Disposal:</b></p>

Please indicate as appropriate:

(a) Public Sewer/Drain: [ X ]

Soakpit: [ X ]

Watercourse: [ X ]

Other (please specify): \_\_\_\_\_

Please refer to MHL Engineering Report for further details on surface water disposal

**(D) Irish Water Requirements:**

Please submit the following information:

(a) Where the proposed development has the potential to impact on a public water supply source, irrespective of whether or not a connection to a water/wastewater network is required, this application must be accompanied by evidence of engagement with Irish Water and its outcome.

**Enclosed:**

Yes: [ ] No: [ X ]

N/A

(b) A current/valid Confirmation of Feasibility Statement from Irish Water in relation to the proposed development confirming that there is or will be sufficient water network treatment capacity to service the development.

**Enclosed:**

Yes: [ X ] No: [ ]

Please see Irish Water correspondence enclosed with this planning application.

(c) A Statement of Compliance with Irish Water's Standard Details and Codes of Practice for water and/or wastewater infrastructure proposals (designs, layouts, etc.).

**Enclosed:**

Yes: [ X ] No: [ ]

Please see details enclosed with this planning application.

(d) An indication of timelines and phasing for water demand or wastewater collection requirements, or both, as appropriate.

**Enclosed:**

Yes: [ X ] No: [ ]

(e) Where the proposed development will impact on assets of Irish Water, details of proposals for protection or diversion of such assets.	<p><b>Enclosed:</b></p> <p>Yes: [ X ] No: [ ]</p>
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## 21. Traffic and Transportation

(a) Is a Traffic / Transportation Impact Assessment included with the application, having regard to the relevant Development Plan / Local Area Plan requirements and the Traffic Management Guidelines (DoT / DoEHLG / DTO, 2003)?	<p><b>Enclosed:</b></p> <p>Yes: [ X ] No: [ ]</p> <p>Please see enclosed Traffic and Transport Assessment prepared by MHL and Associates.</p>
(b) Is a Travel Plan included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?	<p><b>Enclosed:</b></p> <p>Yes: [ X ] No: [ ]</p> <p>MHL and Associates have prepared a Mobility Management Plan that is included in their Traffic and Transport Assessment</p>
(c) Is a Road Safety Audit included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?	<p><b>Enclosed:</b></p> <p>Yes: [ X ] No: [ ]</p> <p>Please refer to Road Safety Audit prepared by MHL and Associates enclosed.</p>

## 22. Taking in Charge

Is it intended that any part of the proposed development will be taken in charge by the planning authority?	Yes: [ X ] No: [ ]
<p>If the answer is “Yes”, please attach site plan clearly showing area(s) intended for taking in charge.</p> <p>Please refer to taken in charge drawing prepared by Horgan Carroll Architects</p>	

### 23. Maps, Plans and Drawings

List in a schedule accompanying this application all maps, plans and drawings enclosed with the application, stating title, scale and number.

See enclosed a schedule of documentation and drawings attached to the cover letter to An Bord Pleanála.

### 24. Application Fee:

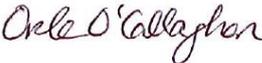
(a) State fee payable for application:	<b>€80,000</b>
(b) Set out basis for calculation of fee:	The total fee cannot be more than €80,000 for HA1A, HA1B, HA1C, HA2, or HA3 of the ABP fee schedule together.
(c) Is the fee enclosed with the application?	<b>Enclosed:</b> Yes: [ X ] No: [ ]  <i>Please find a bank draft enclosed in respect of the planning application fee.</i>

### 25. Universal Design:

Please provide a statement as to how the proposed Strategic Housing Development has sought to comply with the principles of Universal Design (to encourage access and use of the development regardless of age, size, ability or disability). For assistance and general information on such matters please refer for example to the National Disability Authority's "Building for Everyone: A Universal Design Approach" and "Universal Design Guidelines for Homes in Ireland" at <a href="http://www.universaldesign.ie">www.universaldesign.ie</a>	<b>Enclosed:</b> Yes: [ X ] No: [ ]  Please see enclosed report prepared by Horgan Carroll Architects
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### Declaration

I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct and accurate and fully compliant with the requirements of the Planning and Development Act 2000 and Chapter 1 of Part 2 of the Planning and Development (Housing) and Residential Tenancies Act 2016 and the Regulations made thereunder. In this regard, I also hereby declare that, to the best of my knowledge and belief, the copies of the application documents sent to the planning authority, prescribed bodies, etc., and displayed on any website under the applicant's control are identical to the application documents being deposited with An Bord Pleanála.

Signed: (Applicant or Agent as appropriate)	 Orla O'Callaghan (Cunnane Stratton Reynolds, Unit 3, Copley Hall, Cotters Street, Cork)
Date:	18 <sup>th</sup> December 2019

## 26. Contact Details- Not to be Published

### Applicant(s):

<b>First Name:</b>	See below. Applicant is a company
<b>Surname:</b>	
<b>Address Line 1:</b>	
<b>Address Line 2:</b>	
<b>Address Line 3:</b>	
<b>Town / City:</b>	
<b>County:</b>	
<b>Country:</b>	
<b>Eircode:</b>	
<b>E-mail address (if any):</b>	
<b>Primary Telephone Number:</b>	
<b>Other / Mobile Number (if any):</b>	

### Where the Applicant(s) is a Company:

<b>Name(s) of Company Director(s):</b>	Dave Watson, Tim Watson and Barry Walsh
<b>Company Registration Number (CRO):</b>	604969
<b>Contact Name:</b>	John Crean (Longview Estates Limited)
<b>Primary Telephone Number:</b>	021 6017636
<b>Other / Mobile Number (if any):</b>	N/A
<b>E-mail address:</b>	<a href="mailto:john.crean@longview.ie">john.crean@longview.ie</a>

### Person/Agent (if any) acting on behalf of the Applicant(s):

<b>First Name:</b>	Orla
<b>Surname:</b>	O'Callaghan
<b>Address Line 1:</b>	Cunnane Stratton Reynolds
<b>Address Line 2:</b>	Copley Hall
<b>Address Line 3:</b>	Cotters Street
<b>Town / City:</b>	Cork
<b>County:</b>	Cork
<b>Country:</b>	Ireland
<b>Eircode:</b>	N/A
<b>E-mail address (if any):</b>	<a href="mailto:ocallaghan@csrlandplan.ie">ocallaghan@csrlandplan.ie</a>
<b>Primary Telephone Number:</b>	021-4969224
<b>Other / Mobile Number (if any):</b>	087-2924502

**Person responsible for preparation of maps, plans and drawings:**

<b>First Name:</b>	Paul
<b>Surname:</b>	Horgan
<b>Address Line 1:</b>	Horgan Carroll Architects
<b>Address Line 2:</b>	Unit 3
<b>Address Line 3:</b>	Water's Edge
<b>Town / City:</b>	Midleton
<b>County:</b>	County Cork
<b>Country:</b>	Ireland
<b>Eircode:</b>	
<b>E-mail address (if any):</b>	<a href="mailto:paul@horgancarroll.ie">paul@horgancarroll.ie</a>
<b>Primary Telephone Number:</b>	021-4630110
<b>Other / Mobile Number (if any):</b>	N/A

**Contact for arranging entry on site, if required:**

<b>Name:</b>	Orla O'Callaghan
<b>Mobile Number:</b>	0872924502
<b>E-mail address:</b>	<a href="mailto:ocallaghan@csrlandplan.ie">ocallaghan@csrlandplan.ie</a>

**General Guidance Note:**

1. In this form, “applicant” means the person seeking the planning permission, not an agent acting on his or her behalf. Where there is more than one applicant, the details of all applicants should be inserted, as required, on the form.
2. Where the plans have been drawn up by a firm/company the name of the person primarily responsible for the preparation of the drawings and plans, on behalf of the firm/company, should be stated.
3. In this form, “planning authority” means the planning authority in whose area the proposed strategic housing development would be situated. Where the proposed development would be situated in the area of more than one planning authority, the relevant details should be supplied separately in respect of each such authority.
4. The site location map shall be drawn to a scale (which shall be indicated thereon) of not less than 1:1000 in built up areas and 1:2500 in all other areas. The draft layout plan shall be drawn to a scale (which shall be indicated thereon) of not less than 1:500, shall show buildings, roads, boundaries, septic tanks and percolation areas, bored wells, significant tree stands and other features on, adjoining or in the vicinity of the land or structure to which the application relates.
5. Gross floor space means the area ascertained by the internal measurement of the floor space on each floor of a building (including internal walls and partitions), i.e. floor areas must be measured from inside the external wall, disregarding any floor space provided for the parking of vehicles by persons occupying or using the building or buildings where such floor space is incidental to the primary purpose of the building.

6. An Environmental Impact Assessment Report (EIAR) is required to accompany an application for permission for strategic housing development of a class set out in Schedule 5 of the Planning and Development Regulations 2001-2018 which equals or exceeds, as the case may be, a limit, quantity or threshold set for that class of development. An EIAR will be required in respect of sub-threshold strategic housing development where An Bord Pleanála considers that the proposed development would be likely to have significant effects on the environment. Under section 7(1)(a)(i)(I) of the Act of 2016, a prospective applicant may request An Bord Pleanála to make an EIA screening determination in respect of a proposed strategic housing development. Where an EIAR is being submitted with an application, it must be accompanied with a copy of the confirmation notice received from the EIA portal in accordance with article 97B(2) of the permission regulations that certain information in respect of the EIAR has been entered onto the portal.
7. An appropriate assessment (AA) is required to accompany an application for permission for strategic housing development in cases where it cannot be excluded that the proposed development would have a significant effect on a European site. Under section 7(1)(a)(i)(II) of the Act of 2016, a prospective applicant may request An Bord Pleanála to carry out an AA screening in respect of a proposed strategic housing development.
8. A list of national monuments in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht is available for download from the National Monuments Service website ([www.archaeology.ie](http://www.archaeology.ie)) under “National Monuments in State Care”. A list of preservation orders is similarly available from this website (under “Monument Protection”). The relevant local authority should be contacted in relation to national monuments in its ownership or guardianship. If a proposed development affects or is close to a national monument that is in the ownership or guardianship of the Minister for Culture, Heritage and the

Gaeltacht or a local authority, or is the subject of a preservation order or a temporary preservation order, a separate statutory consent for the development is required from that Minister under the National Monuments Acts.

9. The Record of Monuments and Places (RMP), established under section 12 of the National Monuments (Amendment) Act 1994, is available for each county in the public libraries and principal local authority offices in that county. It is also available for download from the National Monuments Service website ([www.archaeology.ie](http://www.archaeology.ie)) under “Publications, Forms & Legislation”. If a proposed development affects or is close to a monument listed in the RMP, there is a separate requirement to give two months advance notice of any proposed work to the Minister for Culture, Heritage and the Gaeltacht. No work may commence within the two month period except in the case of urgent necessity and with the consent of that Minister.
  
10. Part V of the Planning and Development Act 2000 applies where—
  - the land is zoned for residential use or for a mixture of residential and other uses,
  - there is an objective in the Development Plan for the area for a percentage of the land to be made available for social and/or affordable housing, and
  - the proposed development is not exempt from Part V.
  
11. Under section 96(13) of the Planning and Development Act 2000, Part V does not apply to certain housing developments by approved voluntary housing bodies, certain conversions, the carrying out of works to an existing house or the development of houses under an agreement made under section 96 of the Act.

12. All maps, plans and drawings, should, insofar as possible, comply with articles 297 and 298 of the Planning and Development Regulations 2001 to 2017.